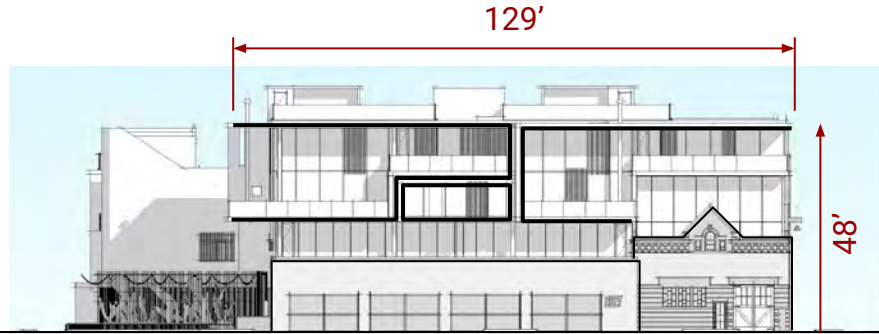
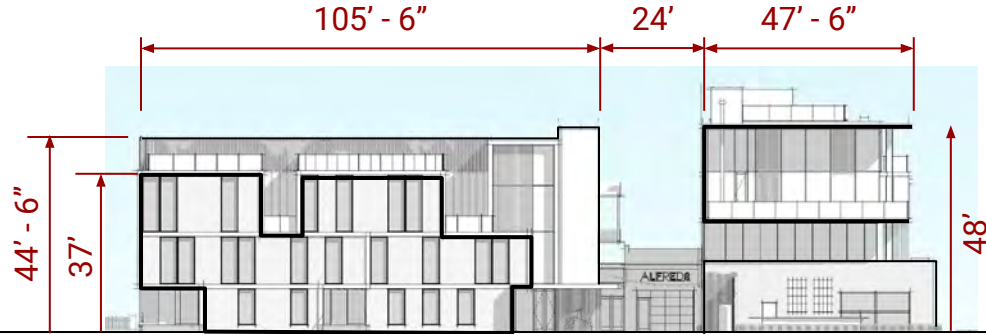


2827 JOHN R STREET : ELEVATIONS WITH DIMENSIONS



East Elevation



South Elevation

112 EDMUND PLACE + 2827 JOHN R

2827 JOHN R STREET : MATERIALS

BRICK

Fireclay, Big Horn



GLASS GUARD

With Stainless Steel Shoe



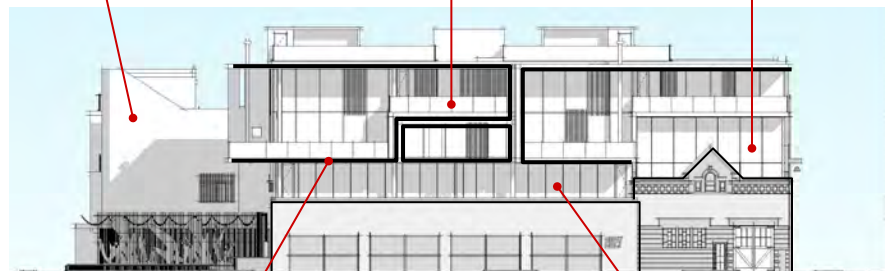
SSG CURTAIN WALL

Kawneer 1620, Dark Bronze

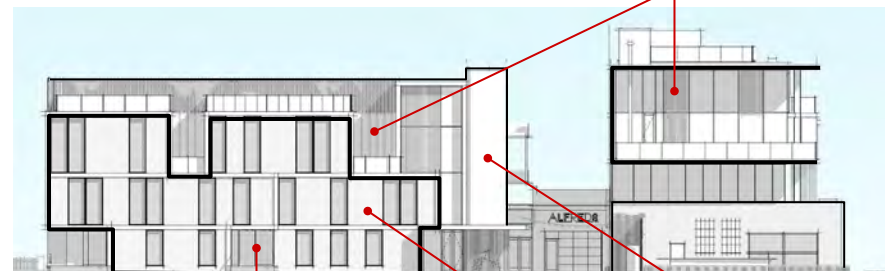


CHARRED WOOD SCREEN

reSAWN Timber Co, Kebony, "Russ"



East Elevation



South Elevation



ZINC PANEL
Northclad, ZN Zinc Series



FOLDING WOOD CURTAIN WALL SYSTEM
Solar Innovation, Dark Walnut



CHARRED WOOD CLADDING AND SCREEN
reSAWN Timber Co, Kebony, "Russ"

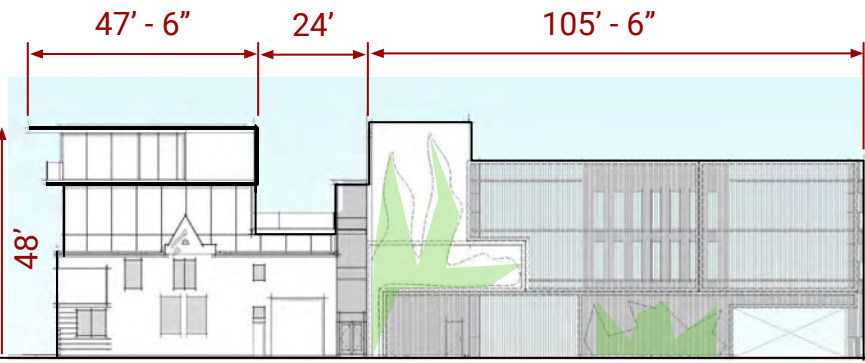


BRICK
Fireclay, Front Range

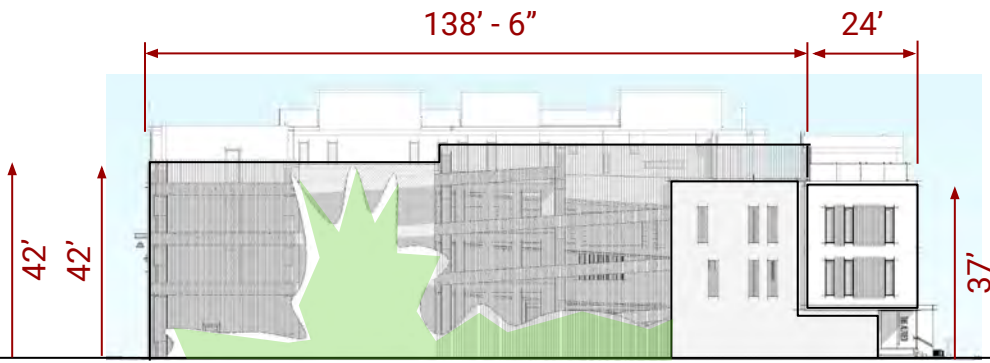


BRICK
Fireclay, Big Horn

2827 JOHN R STREET : ELEVATIONS WITH DIMENSIONS



North Elevation



West Elevation

112 EDMUND PLACE + 2827 JOHN R

2827 JOHN R STREET : MATERIALS

ZINC PANEL
Northclad, ZN Zinc Series



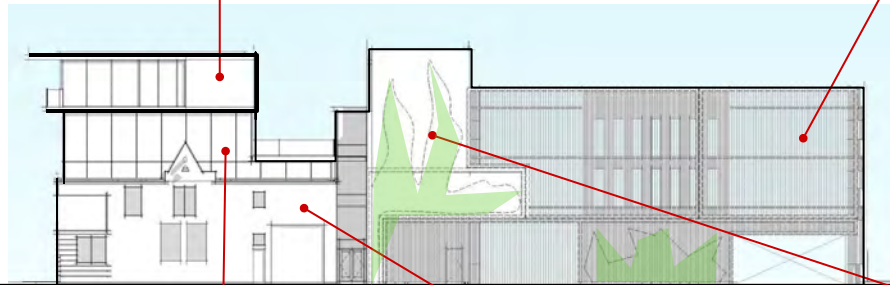
CHARRED WOOD SCREEN
reSAWN Timber Co, Kebony, "Russ"



BRICK
Fireclay, Front Range



ZINC PANEL
Northclad, ZN Zinc Series



North Elevation



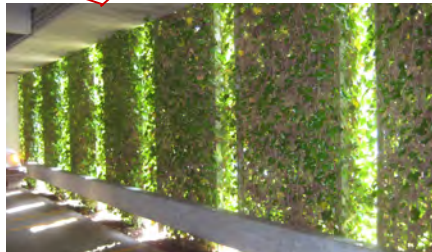
West Elevation



SSG CURTAIN WALL
Kawneer 1620, Dark Bronze



EXISTING BRICK



CLIMBING VEGETATIVE WALL SYSTEM ON PRECAST
Greenscreen, Dark Bronze



CHARRED WOOD SCREEN
reSAWN Timber Co, Kebony, "Russ"

BRUSH PARK ELEMENTS OF DESIGN

2827 JOHN R STREET : BP ELEMENTS OF DESIGN

1 HEIGHT

7 RELATIONSHIP OF MATERIALS

13 RELATIONSHIP OF SIGNIFICANT LANDSCAPE FEATURES AND SURFACE TREATMENTS

19 DEGREE OF COMPLEXITY WITH THE FACADES

2 PROPORTION OF BUILDING'S FRONT FACADE

8 RELATIONSHIP OF TEXTURES

14 RELATIONSHIP OF OPEN SPACE TO STRUCTURES

20 ORIENTATION, VISTAS, OVERVIEWS

3 PROPORTION OF OPENINGS WITHIN THE FACADE

9 RELATIONSHIP OF COLORS

15 SCALE OF FACADES AND FACADE ELEMENTS

21 SYMMETRIC OR ASYMMETRIC APPEARANCE

4 RHYTHM OF SOLIDS TO VOIDS IN FRONT FACADE

10 RELATIONSHIP OF ARCHITECTURAL DETAIL

16 DIRECTIONAL EXPRESSION OF FRONT FACADES

22 GENERAL ENVIRONMENTAL CHARACTER

5 RHYTHM OF SPACING OF BUILDINGS ON STREETS

11 RELATIONSHIP OF ROOF SHAPES

17 RHYTHM OF BUILDING SETBACKS

6 RHYTHM OF ENTRANCE AND/OR PORCH PROJECTIONS

12 WALLS OF CONTINUITY

18 RELATIONSHIP OF LOT COVERAGE



112 EDMUND PLACE + 2827 JOHN R

2827 JOHN R STREET : BP ELEMENTS OF DESIGN



1

HEIGHT
"In the area between Woodward and Brush, the original development was almost exclusively 2 ½ story houses. Later . . . apartment buildings among the houses, the majority of which are 3 stories in height"

4

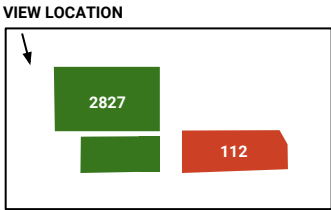
RHYTHM OF SOLIDS TO VOIDS IN FRONT FACADE
"Victorian structures in the district often display great freedom in the placement of openings in the facades, although older examples are generally more regular in such placement"

7

RELATIONSHIP OF MATERIALS
"By far the most prevalent material in the district is common brick"

5

RHYTHM OF SPACING OF BUILDINGS ON STREET
"The area between Woodward and Brush appears to have been developed in a very regular spacing . . . many buildings stand on more land than one lot"



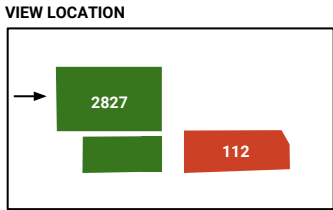
LOOKING EAST ON ALFRED STREET

112 EDMUND PLACE + 2827 JOHN R

2827 JOHN R STREET : BP ELEMENTS OF DESIGN



- 16 **DIRECTIONAL EXPRESSION OF FRONT FACADES**
"A substantial majority of the buildings in the district have front facades vertically expressed"
- 11 **RELATIONSHIP OF ROOF SHAPES**
"Examples of many roof shapes . . . different types are sometimes combined into a single structure and tower roofs, cupolas, lanterns . . . are used on various Victorian houses"
- 5 **RHYTHM OF SPACING OF BUILDINGS ON STREET**
"The most common relationship of textures in the district is the low relief pattern of mortar joints in the brick contrasted to smoother or rougher surfaces."
- 3 **PROPORTION OF OPENINGS WITHIN THE FACADE**
"Areas of void generally constitute between 15 and 35 percent . . . generally taller than wide"
- 6 **RHYTHM OF ENTRANCE AND OR PORCH PROJECTIONS**
"Most buildings have or had a porch or entrance projection"



ALFRED STREET TOWNHOMES

112 EDMUND PLACE + 2827 JOHN R

2827 JOHN R STREET : BP ELEMENTS OF DESIGN



ALFRED STREET ENTRY

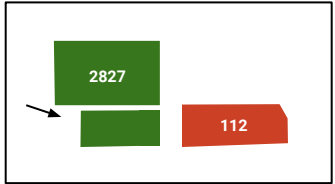


By maintaining the existing open space at 2827 John R as an outdoor dining terrace, a visual connection is created between 2827 and the historic home. In a visual sense, the open terrace is a space that belongs to the Ransom Gillis.

14 **RELATIONSHIP OF OPEN SPACE TO STRUCTURES**

“There is a large quantity of open space in the area, due to demolition of buildings. The traditional relationship of houses to street has become has thus become a relationship between houses and landscape”

VIEW LOCATION



112 EDMUND PLACE + 2827 JOHN R

2827 JOHN R STREET : BP ELEMENTS OF DESIGN



JOHN R STREET

04 RHYTHM OF SOLIDS TO VOIDS IN FRONT FACADE

Victorian structures in the district often display great freedom in the placement of openings in the facades . . . in later apartments, openings tend to be very regular."

21 SYMMETRIC OR ASYMMETRIC APPEARANCE

"Asymmetric but balanced compositions are common"

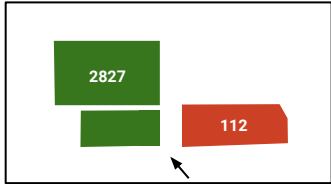
08 RELATIONSHIP OF TEXTURES

The most common relationship of textures in the district is the low-relief pattern of mortar joints in brick contrasted to the smoother or rougher surfaces of stone or wood trim."

15 SCALE OF FACADES AND FACADE ELEMENTS

"Between John R and Brush, the scale tends to be large . . . towers, setbacks, porches and the like divide the facades into large elements. Later apartments are large in scale with simple, but large elements"

VIEW LOCATION



112 EDMUND PLACE + 2827 JOHN R

BP ELEMENTS OF DESIGN

OOMBRA
ARCHITECTS



BRUSH PARK PROPERTIES, LLC

79 Alfred Street
Detroit, MI 48202

TERRANOVUS DEVELOPMENT, LLC

449 E. Milwaukee Blvd
Detroit, MI 48202

OOMBRA ARCHITECTS, LLC

765 Moredon Road
Philadelphia, PA 19046
215.948.2564
www.oombra.com

OOMBRA ARCHITECTS

An architectural rendering of a modern urban courtyard at night. The scene features a paved walkway with people walking, a brick wall on the left, and a modern building with large glass windows and balconies on the right. A red neon sign reading "ALFREDO'S" is visible in the background. The courtyard is illuminated by warm string lights and building lights, creating a vibrant atmosphere. A large tree is on the right side of the courtyard.



EAST ELEVATION



NORTH ON JOHN R STREET



WEST ON EDMUND PLACE TOWARD LUCIEN MOORE ESTATE



EAST ON EDMUND PLACE FROM LUCIEN MOORE ESTATE

BUILDING AREA	
Level	Area
Level 0	11,043 SF
Level 1	8,535 SF
Level 2	9,367 SF
Level 3	9,983 SF
Level 4	11,046 SF
Level 5	11,025 SF
Level 6	11,024 SF
Level 7	8,838 SF
TOTAL	80,861 SF

PARKING SUMMARY	
LEVEL 0	46 SPACES (STACK PARKER)
LEVEL 0	2 SPACES (ADA)
TOTAL:	48 SPACES

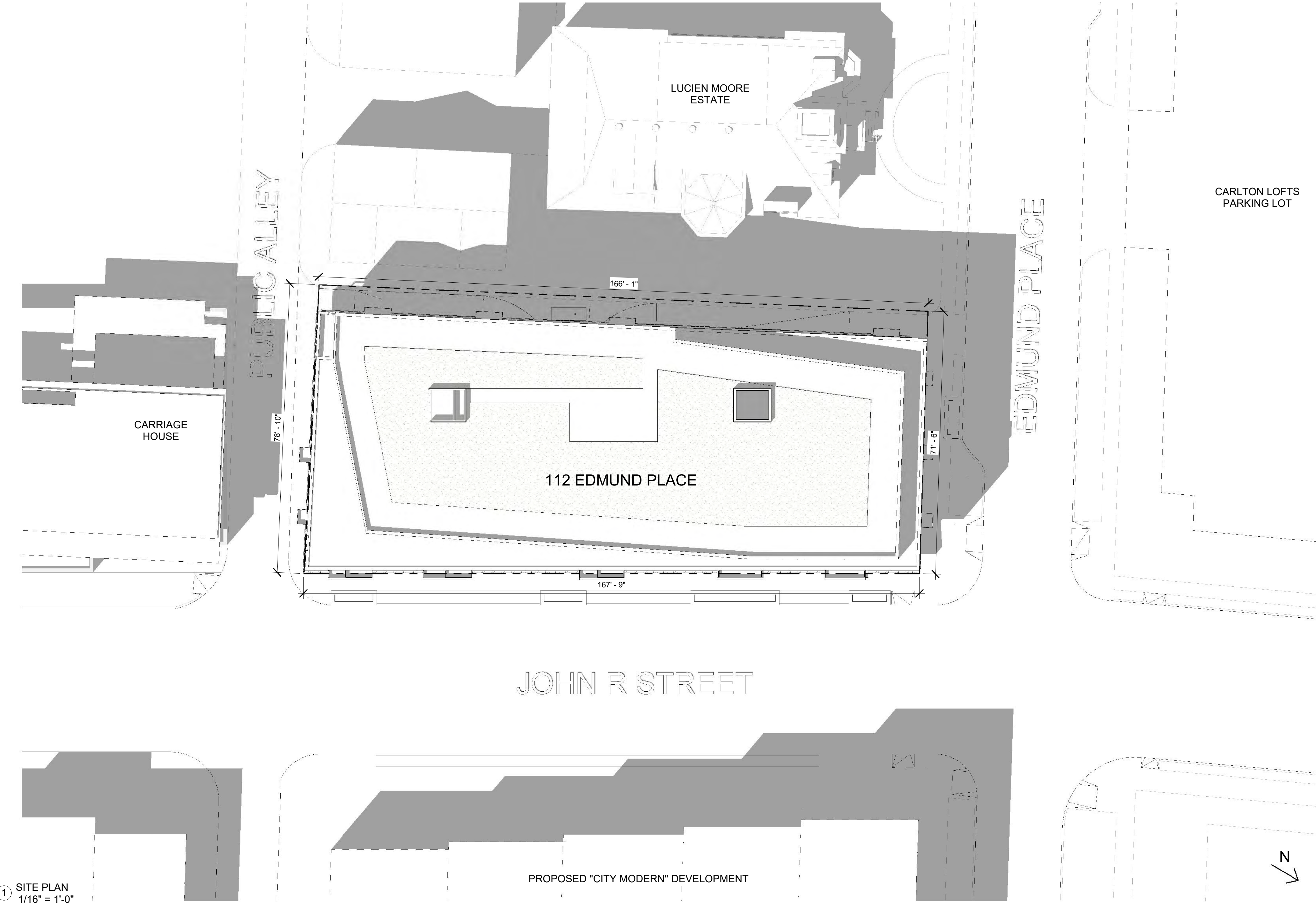
COMMERCIAL AREA SCHEDULE		
Number	Name	Area
200	FUTURE COMMERCIAL TENANT(S)	7,127 SF
300	FUTURE COMMERCIAL TENANT(S)	9,135 SF
TOTAL: 2		16,262 SF

RETAIL AREA SCHEDULE		
Number	Name	Area
100	FUTURE RETAIL TENANT B	3,024 SF
111	FUTURE RETAIL TENANT A	1,919 SF
TOTAL: 2		4,943 SF

UNIT AREA SCHEDULE		
Number	Name	Area
404	1 BEDROOM	1,140 SF
405	1 BEDROOM	1,082 SF
406	1 BEDROOM	1,169 SF
407	1 BEDROOM	875 SF
409	2 BEDROOM	1,274 SF
411	1 BEDROOM	844 SF
501	2 BEDROOM	1,131 SF
502	1 BEDROOM	849 SF
503	1 BEDROOM	845 SF
504	2 BEDROOM	1,140 SF
505	1 BEDROOM	1,068 SF
506	1 BEDROOM	1,183 SF
507	1 BEDROOM	862 SF
508	1 BEDROOM	851 SF
509	2 BEDROOM	1,274 SF
510	1 BEDROOM	849 SF
511	1 BEDROOM	845 SF
512	2 BEDROOM	1,126 SF
601	2 BEDROOM	1,138 SF
602	2 BEDROOM	1,260 SF
603	1 BEDROOM	839 SF
604	1 BEDROOM	831 SF
605	1 BEDROOM	846 SF
606	1 BEDROOM	875 SF
607	2 BEDROOM	1,131 SF
608	2 BEDROOM	1,175 SF
609	2 BEDROOM	1,082 SF
702	3 BEDROOM + DEN	2,001 SF
703	2 BEDROOM + DEN	1,494 SF
704	2 BEDROOM	1,101 SF
705	2 BEDROOM	1,322 SF
706	2 BEDROOM	1,241 SF
TOTAL: 32		34,742 SF



LOCATION MAPS



1 SITE PLAN
1/16" = 1'-0"

1002
OOMBRA PROJECT #
112 EDMUND PLACE
DETROIT MI 48201
OWNER
TERRANOVUS DEVELOPMENT, LLC
449 E MILWAUKEE BLVD
DETROIT, MICHIGAN 48202

ARCHITECT
OOMBRA ARCHITECTS, LLC.
PHILADELPHIA, PA
WWW.OOMBRA.COM
215.948.2564

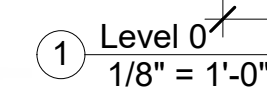
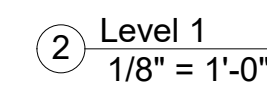
OOMBRA
ARCHITECTS

OOMBRA ARCHITECTS, LLC.
PHILADELPHIA, PA
WWW.OOMBRA.COM
215.948.2564

DRAWING ISSUE	DATE
PRELIMINARY PRICING	09.11.2017
Pre CPC and BSEED MEETING	01.31.2018
HDC	04.24.2018

COVER SHEET

A000
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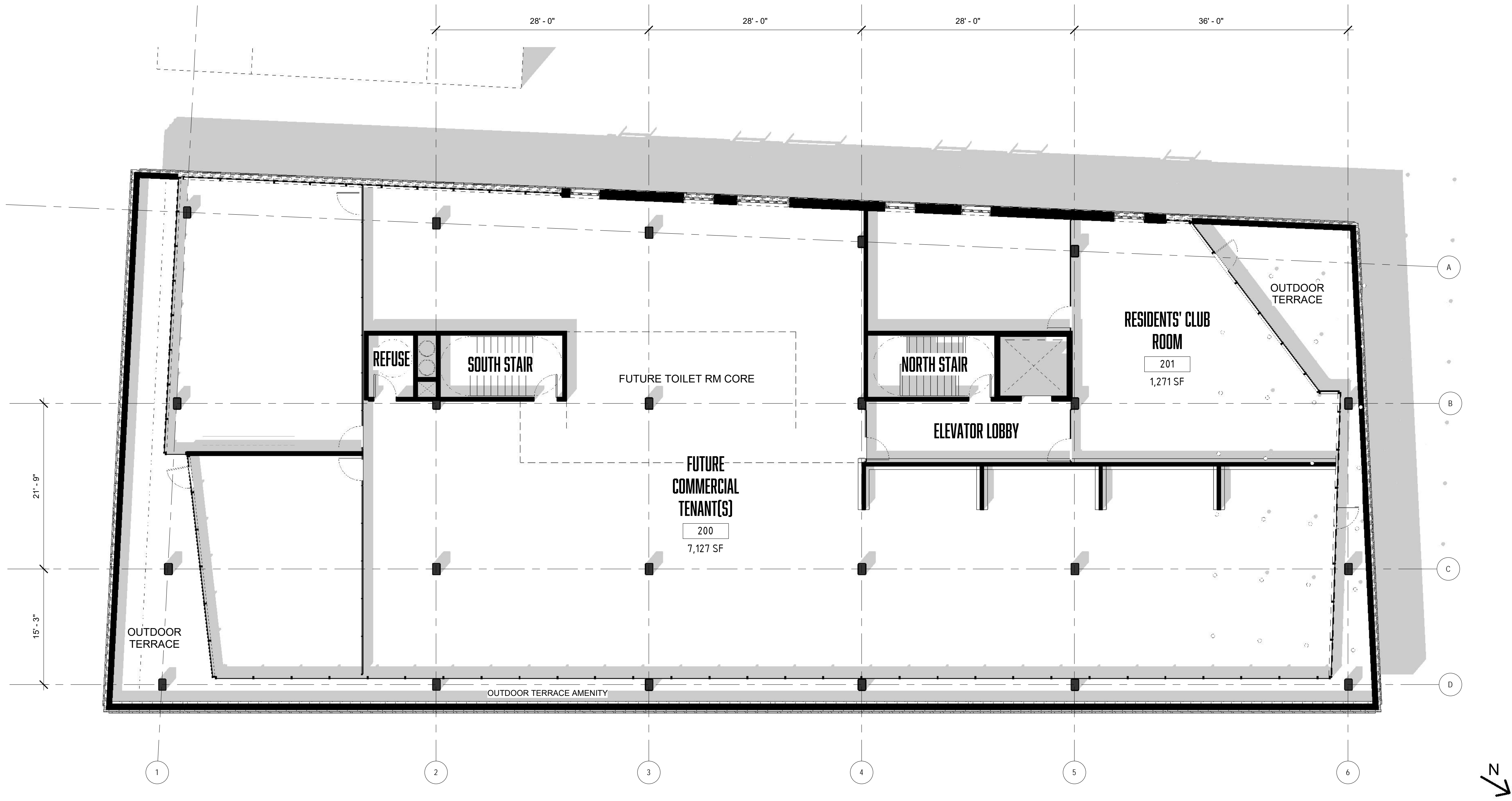


OWNER

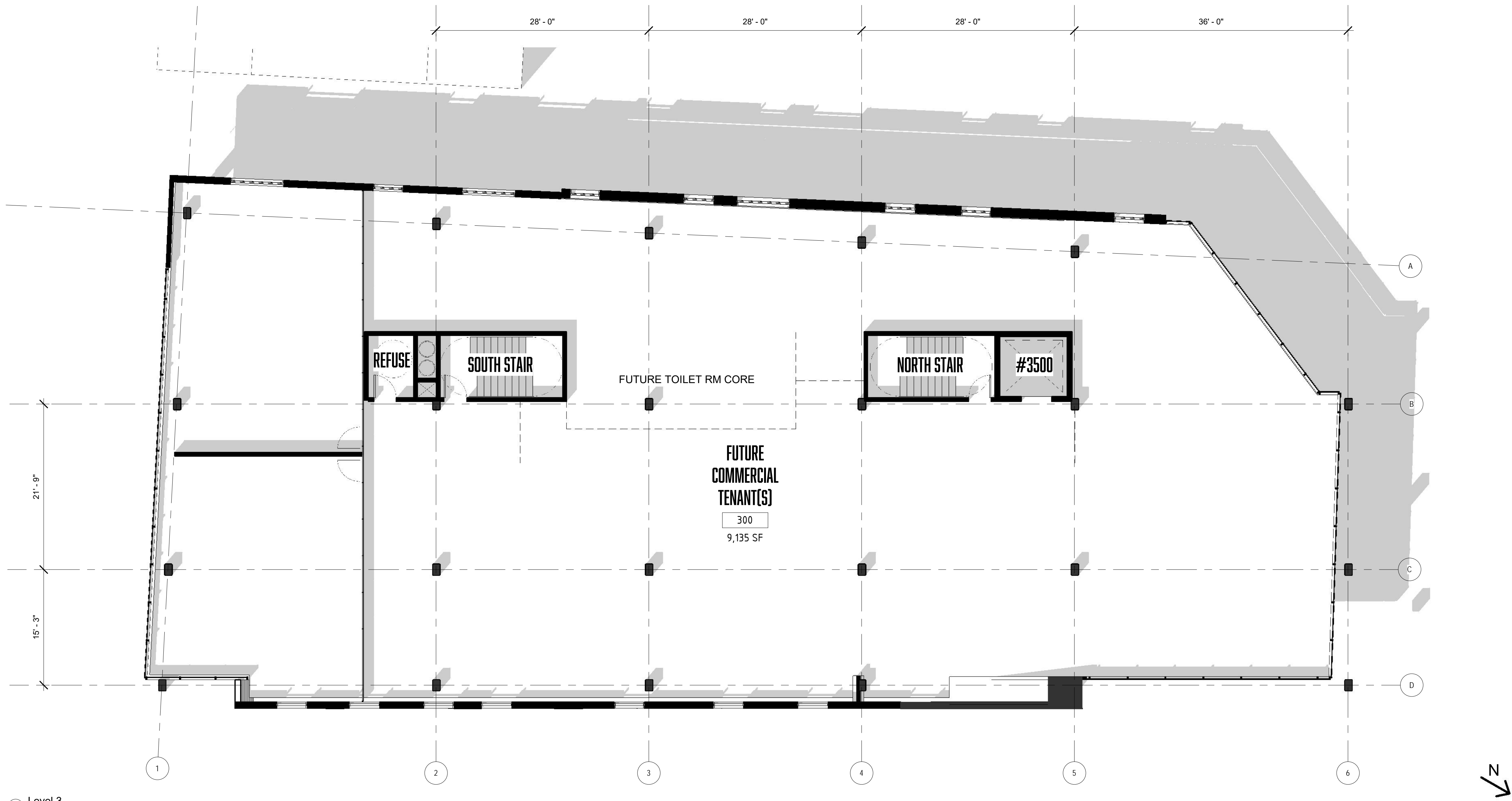
TERRANOVUS DEVELOPMENT, LLC
449 E MILWAUKEE BLVD
DETROIT, MICHIGAN 48202

ARCHITECT

OOMBRA ARCHITECTS, LLC.
PHILADELPHIA, PA
WWW.OOMBRA.COM
215.948.2564



① Level 2
1/8" = 1'-0"



② Level 3
1/8" = 1'-0"

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ARCHITECTS

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215.948.2564

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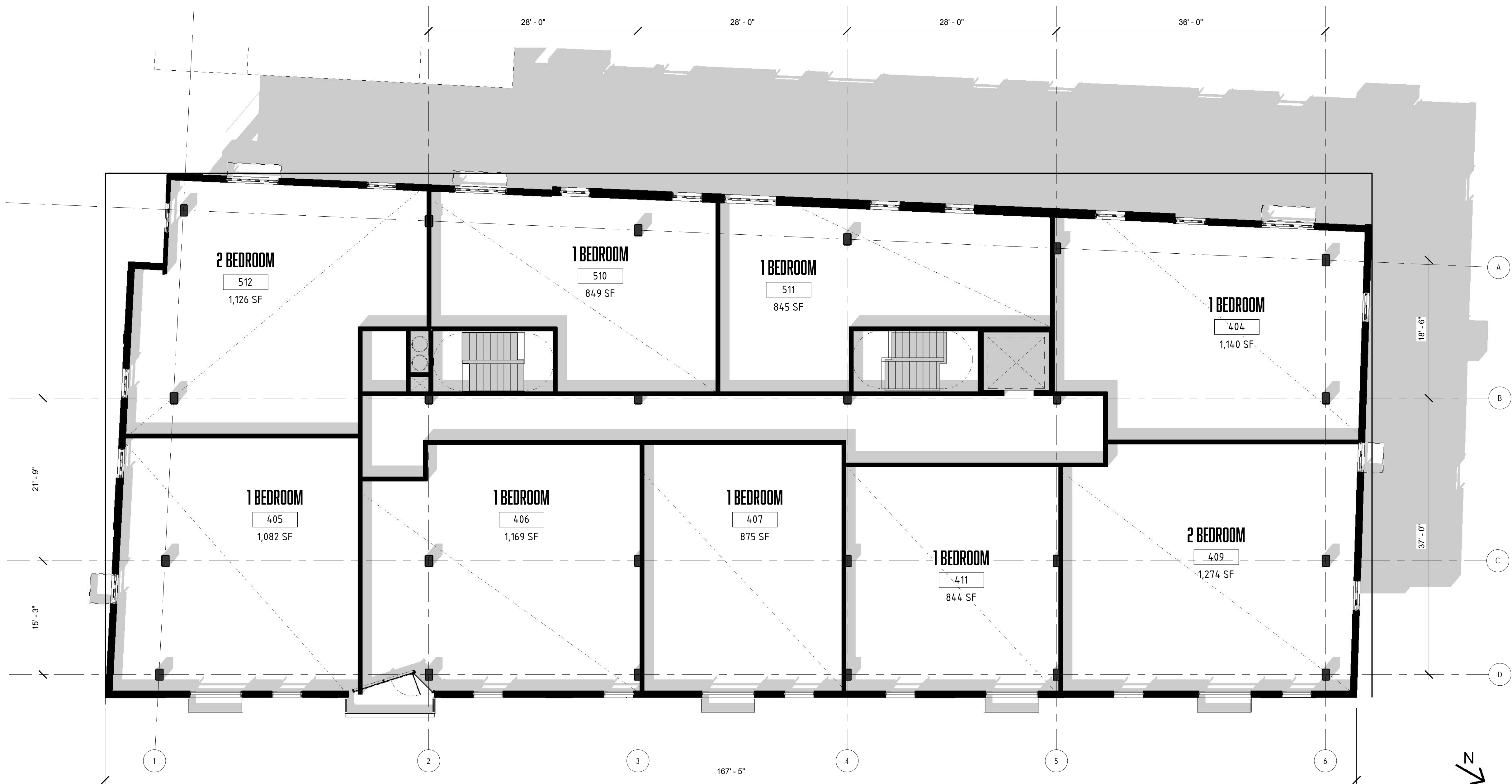
FLOOR PLANS

OWNER

TERRANOVUS DEVELOPMENT, LLC
449 E MILWAUKEE BLVD
DETROIT, MICHIGAN 48202

ARCHITECT

OOMBRA ARCHITECTS, LLC.
PHILADELPHIA, PA
WWW.OOMBRA.COM
215.948.2564



① Level 4
1/8" = 1'-0"



② Level 5
1/8" = 1'-0"

OOMBRA
ARCHITECTS

OOMBRA ARCHITECTS, LLC.
PHILADELPHIA, PA
WWW.OOMBRA.COM
215.948.2564

DRAWING ISSUE	DATE
PRELIMINARY PRICING	09.11.2017
Pre CPC and BSEED MEETING	01.31.2018
HDC	04.24.2018

FLOOR PLANS

OWNER

TERRANOVUS DEVELOPMENT, LLC
449 E MILWAUKEE BLVD
DETROIT, MICHIGAN 48202

ARCHITECT

OOMBRA ARCHITECTS, LLC.
PHILADELPHIA, PA
WWW.OOMBRA.COM
215.948.2564



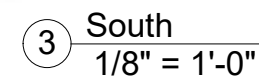
OOMBRA
ARCHITECTS

OOMBRA ARCHITECTS, LLC.
PHILADELPHIA, PA
WWW.OOMBRA.COM
215.948.2564

DRAWING ISSUE	DATE
PRELIMINARY PRICING	09.11.2017
Pre CPC and BSEED MEETING	01.31.2018
HDC	04.24.2018

FLOOR PLANS

OOMBRA ARCHITECTS, LLC.
PHILADELPHIA, PA
WWW.OOMBRA.COM
215.948.2564

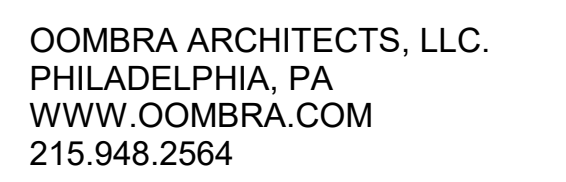


① East
1/8" = 1'-0"

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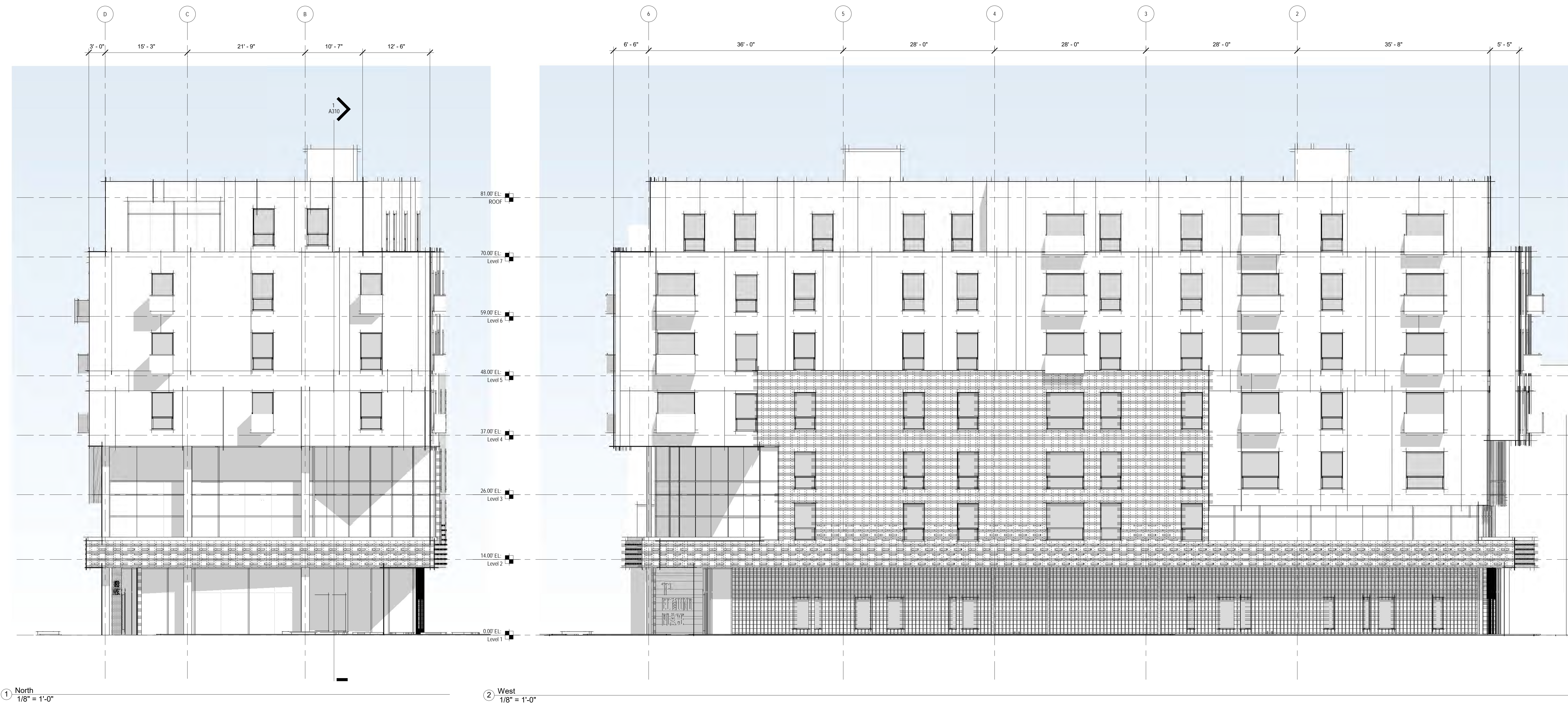
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215.948.2564



BUILDING ELEVATIONS

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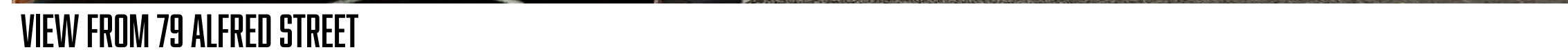


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PHILADELPHIA, PA
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215.948.2564

SCALE : AS INDICATED 4/24/2018 10:06:30 AM

① Longitudinal Building Section Looking West
3/16" = 1'-0"



VICINITY MAP



LOCATION MAP



SHEET LIST

[illegible]

1003

2827 JOHN R STREET
DETROIT MI 48201

OWNER

BRUSH PARK PROPERTIES, LLC
79 ALFRED STREET
DETROIT, MICHIGAN 48201
313.578.1200

ARCHITECT

OOMBRA ARCHITECTS, LLC.
PHILADELPHIA, PA
WWW.OOMBRA.COM
215.948.2564

STRUCTURAL ENGINEER

THE HARMAN GROUP, INC.
900 WEST VALLEY FORGE ROAD
SUITE 200
KING OF PRUSSIA, PA 19406
610.337.3360

LANDSCAPE & CIVIL ENGINEER

PEA INC.
45 WEST GRAND RIVER AVE
SUITE 501
DETROIT, MI 48226
313.769.5770

MEP ENGINEER

STRATEGIC ENERGY SOLUTIONS, INC.
4000 WEST ELEVEN MILE ROAD
BERKLEY, MI 48072
248.399.1900

OOMBRA ARCHITECTS

OOMBRA ARCHITECTS, LLC.
PHILADELPHIA, PA
WWW.OOMBRA.COM
215.948.2564

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COVER SHEET

A000

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